

**HALE OFFICE:**

212 ASHLEY ROAD, HALE,  
 CHESHIRE WA15 9SN  
 TEL: 0161 941 6633  
 FAX: 0161 941 6622  
 Email: hale@watersons.net

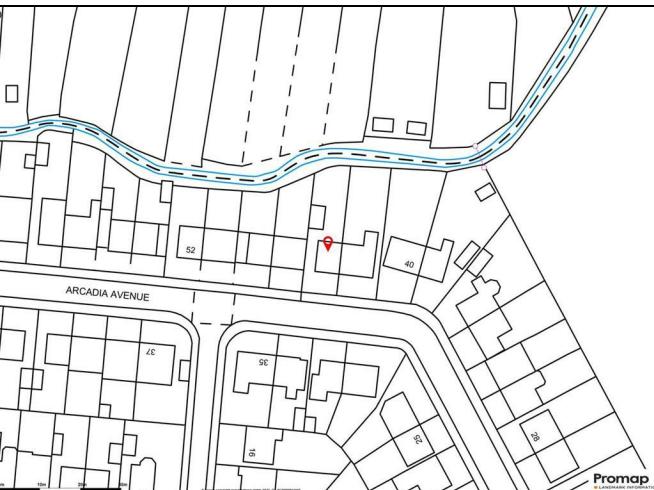
**SALE OFFICE:**

91-93 SCHOOL ROAD, SALE,  
 CHESHIRE M33 7XA  
 TEL: 0161 973 6688  
 FAX: 0161 976 3355  
 Email: sale@watersons.net



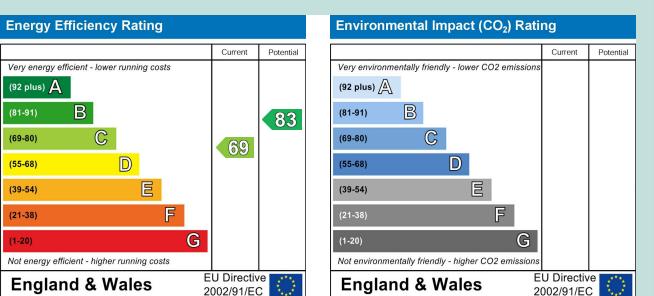
INDEPENDENT ESTATE AGENTS

location



energy efficiency

In line with Government Legislation, we are now able to provide an Energy Performance Certificate (EPC) rating (see table on the right)



AGENTS NOTES Please note that we have not tested any apparatus, equipment, fixtures, fittings or services and so cannot verify that they are in working order or fit for their purpose. Furthermore solicitors should confirm moveable items described in the sales particulars are in fact included in the sale since circumstances do change during marketing or negotiations. A final inspection is recommended prior to the exchange of contracts. Although we try to ensure accuracy, measurements used in this brochure may be approximate. Therefore if intending purchasers need accurate measurements in order to have carpets fitted or ensure that existing furniture will fit they should take the measurements themselves.

[www.watersons.net](http://www.watersons.net)



INDEPENDENT ESTATE AGENTS

44 Arcadia Avenue  
 Sale, M33 3SA



**\*\*NO CHAIN\*\* A SUPERBLY PROPORTIONED THREE BEDROOMED SEMI DETACHED SITUATED WITHIN THIS EVER POPULAR NEIGHBOURHOOD PERFECT FOR LOCAL SCHOOLS. GENERAL MODERNISATION REQUIRED. EXCELLENT SIZED PRIVATE REAR GARDEN.**

**Hall. Lounge. Dining Room. Kitchen. Three Bedrooms. Shower Room. Driveway parking. Detached Garage. Good sized established gardens.**

**CONTACT SALE 0161 973 6688**

**£390,000**

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A superbly proportioned Three Bedrromed Semi Detached situated within this ever popular neighbourhood.

This location is always desirable as it is positioned off Wood Road/Framingham Road therefore close to Brooklands Primary School, the Metrolink and local Shops.



The property is in need of some general modernisation but offers the perfect opportunity for a buyer to 'stamp their own mark'!

In addition to the accommodation there is driveway parking, Detached garage and private established rear gardens.

An internal viewing will reveal:

Entrance Porch, having a uPVC double glazed front door. Further opaque, glazed inner door through to the Entrance Hallway.

Entrance Hall, having a staircase rising to the First Floor. Doors then open to the Lounge, Dining Room and Kitchen.

Dining Room. A well-proportioned Reception Room, having a wide-angled, uPVC double glazed bay window to the front elevation. Picture rail surround.

Lounge. Another good-sized Reception Room, having an angled, uPVC double glazed bay window to the rear elevation with uPVC double glazed French doors opening out onto the rear Garden. Plate rail surround.

The Kitchen is fitted with a base unit and stainless steel sink unit. uPVC double glazed window to the rear elevation providing views over the Garden. Wall-mounted, 'Worcester', gas central heating boiler. Opaque, uPVC double glazed opens to the side. Door provides access to useful understairs storage cupboard.

First Floor Landing, having an opaque, uPVC double glazed window to the Half Landing. Doors then provide access to the Three Bedrooms and Shower Room. Loft access point.

Bedroom One. A superb, large Double Bedroom, having a uPVC double glazed bay window to the rear elevation providing views over the Garden. Tiled fire surround to the chimney breast. Built-in wardrobes to one of the alcoves. Picture rail surround.

Bedroom Two. Another good-sized Double Bedroom, having a uPVC double glazed, angled bay window to the front elevation. Built-in wardrobes. Picture rail surround.

Bedroom Three, having a uPVC double glazed window to the front elevation.

The Shower Room is fitted with a suite and comprises of enclosed shower cubicle with electric shower, fitted Bathroom cabinets with enclosed cistern WC and sink unit.



Opaque uPVC double glazed window to the rear elevation. Part-tiled walls.

Outside to the front, the property is approached via a block-paved driveway providing ample off street parking; this continues down the side of the property leading to the Detached Garage and rear Gardens.



To the rear, the property enjoys a lovely, established, private lawned Garden with deep, well-established borders surrounding and further established hedging and trees towards the back of the Garden providing excellent screening.

NO CHAIN!

- FREEHOLD PROPERTY

Approx Gross Floor Area = 865 Sq. Feet  
= 80.3 Sq. Metres

